

# HISTORIC AND DESIGN REVIEW COMMISSION

March 16, 2022

**HDRC CASE NO:** 2022-132  
**ADDRESS:** 424 CLUB DR  
**LEGAL DESCRIPTION:** NCB 7013 BLK LOT W 60 FT OF 4  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 7  
**DISTRICT:** Monticello Park Historic District  
**APPLICANT:** MARIE WILSON/TRIO INVESTMENT PARTNERS, LLC  
**OWNER:** MARIE WILSON/TRIO INVESTMENT PARTNERS, LLC  
**TYPE OF WORK:** Driveway and curb cut modifications, exterior modifications, foundation repair  
**APPLICATION RECEIVED:** February 09, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Claudia Espinosa

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a driveway and sidewalk to the left of the home.
2. Remove and discard the exterior stairwell that is to the rear of the home.
3. Repair the structure's foundation.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 1. Topography

#### A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

#### B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### 8. Architectural Features: Foundations

#### A. MAINTENANCE (PRESERVATION)

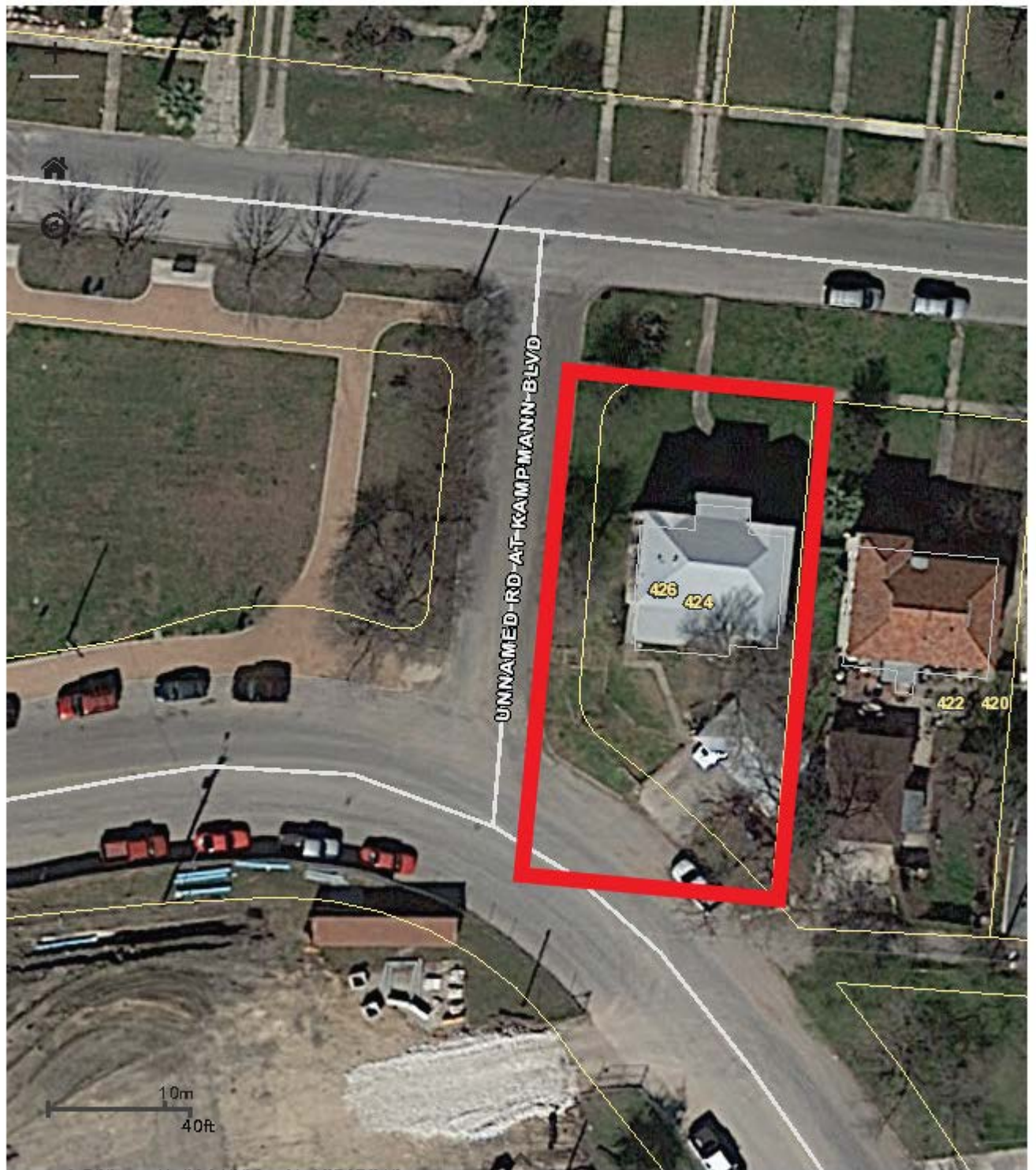
- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

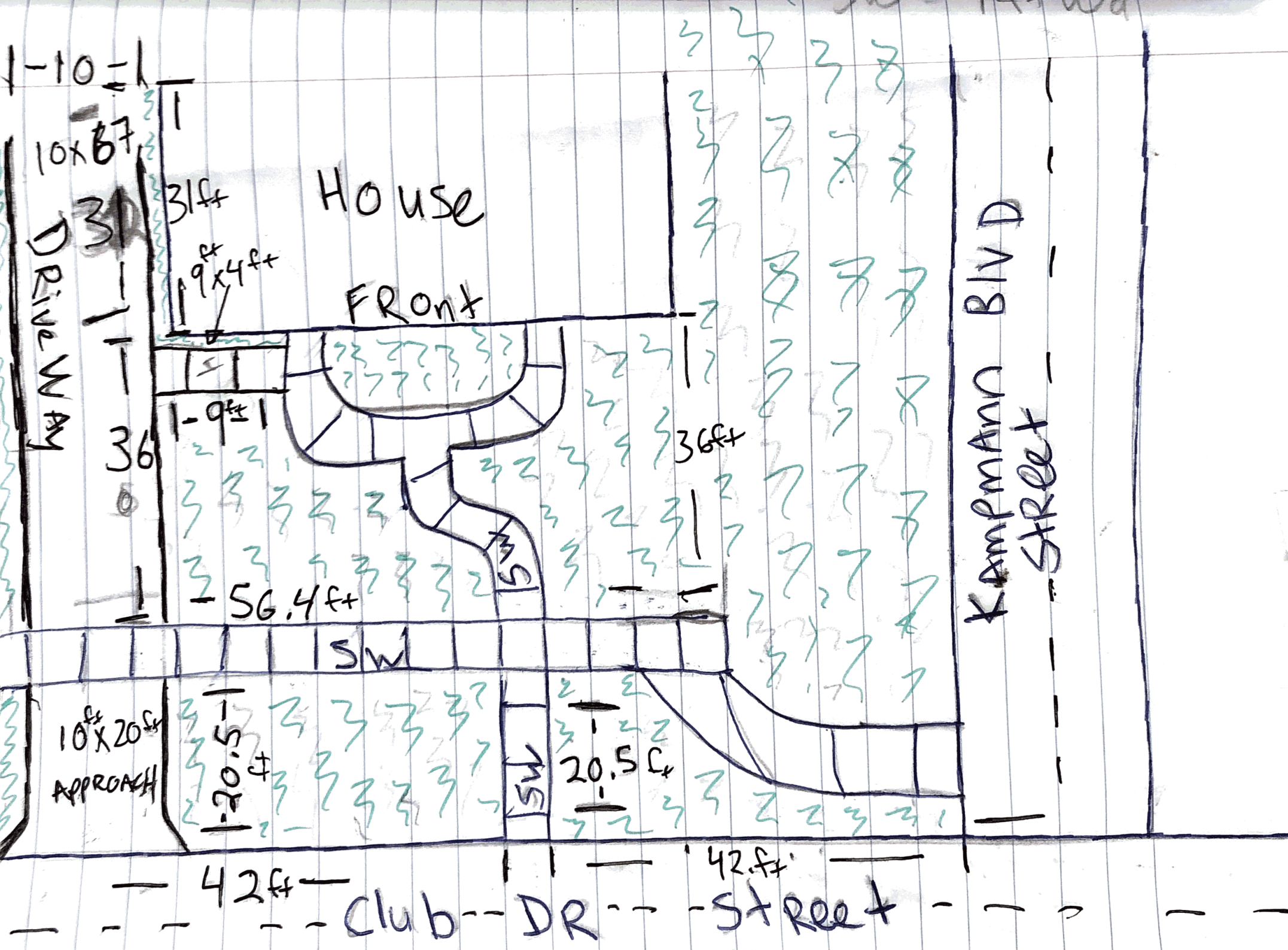
## **FINDINGS:**

- a. The structure located at 424 Club Dr. is located within the Monticello Park Historic District and was constructed circa 1936, as a multi-family structure. At this time the applicant has proposed driveway installation, site work and foundation repair.
- b. FOUNDATION REPAIR – The applicant has proposed foundation repair. Staff finds the proposed scope of work to be appropriate provided that there are no exterior modifications to the historic façade.
- c. DRIVEWAY – The applicant has proposed to install a new driveway on Club Drive. This block of Club does not feature driveways that provide vehicular access from Club Drive. Vehicle access to each lot on this block is provided via the rear alley. Staff does not find the proposed driveway to be consistent with the Guidelines.
- d. REAR STAIR REMOVAL – The applicant has proposed to remove a rear staircase. Staff finds the staircase to be non-original. Staff finds its removal to be appropriate.

## **RECOMMENDATION:**

- 1. Staff does not recommend approval of item #1, the installation of a driveway on Club Drive based on finding c.
- 2. Staff recommends approval of item #2, the removal of the rear staircase based on finding d.
- 3. Staff recommends approval of item #3, foundation repair based on finding b.













1. PROVIDE 1/2" GYP. BD. ON ALL WALLS & 1/2" GYP.BD. ON CEILINGS AND 5/8" GARAGE COMMON WALLS.	15. SUBCONTRACTOR(S) TO FOLLOW & PROVIDE ALL NECESSARY WORK AND MATERIALS ACCORDING TO THE CONSTRUCTION CONTRACT & SPECIFICATIONS.	23. A/C HEATING SUBCONTRACTOR TO VERIFY ALL SUPPLY & RETURN REGISTERS W/ OWNER PRIOR TO INSTALLATION. INSTALL MINIMUM 14 SEERS A/C UNITS. A/C SUB-CONTRACTOR TO FILL OUT & PROVIDE COMPLIANCE REPORT: MECHANICAL SYSTEM DESIGN CRITERIA: - TYPE OF WHOLE HOUSE VENTILATION: SUPPLY, EXHAUST, BALANCED & CONTINUOUS OR INTERMITTENT - INDICATE USE OF ENERGY RECOVERY SYSTEM IF ANY. - DESIGN AIRFLOW FOR MECHANICAL VENTILATION (INDICATE IF LOCAL EXHAUST AIR FLOW WILL BE PART OF THE DESIGN AIRFLOW). - LIST OF FAN EFFICIENCIES FOR VENTILATION SYSTEM - ALL FANS USED AS COMPONENTS. - CALCULATIONS FOR MECHANICAL HVAC EQUIPMENT SIZING. - LIST OF PROPOSED MECHANICAL SYSTEM EQUIPMENT - AIR DUCTS TO HAVE A MIN. OF R4 INSULATION U-FACTOR - HVAC DUCT LEAKAGE TEST (APPROVED 3rd PARTY RESIDENTIAL ENERGY COMPLIANCE LETTER)
2. PROVIDE MIN. R-30 BATT INSULATION IN CEILING & MIN. R-19 IN EXTERIOR WALLS.	16. PLUMBING SUBCONTRACTOR SHALL CALL FOR CITY PLUMBING ROUGH-IN INSPECTION IN NEW CONCRETE FOUNDATION PRIOR TO POURING CONCRETE.	24. VERIFY W/ HOME OWNER FOR TYPE & LOCATION OF WATER SOFTENER.
3. ELECTRICAL CONTRACTOR TO PROVIDE POWER FOR A/C SYSTEM, COORDINATE W/ HOME OWNER.	17. PROPERTY OWNER-GENERAL CONTRACTOR (G.C.)-FOUNDATION SUBCONTRACTOR SHALL HIRE A SURVEY COMPANY PRIOR TO START WORK ON THE PROPERTY PRIOR TO EXCAVATING FOR FOUNDATION FORMS. VERIFY ALL PROPERTY BOUNDARIES. -EASEMENTS-SETBACKS. FOUNDATION SUBCONTRACTOR SHALL CALL STRUCTURAL ENGINEER 3-5 DAYS PRIOR TO POURING CONCRETE FOR FOUNDATION INSPECTION. FOUNDATION SUBCONTRACTS TO COORDINATE TIME SCHEDULE WITH PLUMBING SUBCONTRACTS FOR ANY CORRECTIONS OR REPAIRS TO PLUMBING LINES DUE TO FOUNDATION FORMING. OWNER G.C.-FOUNDATION SUBCONTRACTOR SHALL VERIFY WITH THE CITY ALL UTILITIES OWN THE PROPERTY PRIOR TO ANY EXCAVATING. OWNER-G.C.-PLUMBING SUBCONTRACTOR SHALL APPLY & ACQUIRE ANY & ALL PERMITS NEEDED FOR A SEPTIC TANK CONSTRUCTION AND OR CITY IMPACT FEES RELATED TO NEW CONSTRUCTION WORK. OWNER/CONTRACTORS MUST PAY FOUNDATION ENGINEER PRIOR TO RELEASING FOUNDATION INSPECTION REPORT (AS REQD. BY THE CITY PERMITTING).	25. FRAMING CONTRACTOR TO PROVIDE WALL BRACING PER REQUIRED PER CODE.
4. ALL SUBS REQUIRE TO INSTALL ALL APPLIANCES PRETAINING TO THEIR WORK.	18. ALL SUBCONTRACTORS ARE REQUIRED TO SUBMIT A WRITTEN TIME SCHEDULE FOR THEIR WORK COMPLETION. ANY WORK THAT NEEDS TO BE STOPPED FOR OTHER TRADE COMPLETION AND THEN RESTARTED SHOULD BE INCLUDED IN THE WRITTEN TIME SCHEDULE. IT'S THE RESPONSIBILITY OF EACH CONTRACTOR TO COORDINATE W/ G.C. FOR ALL WORK SCHEDULES.	26. PLUMBING SUB-CONTRACTOR TO PROVIDE A CIRCULATING WATER HEATER PUMP SYSTEM, (IF REQUESTED BY OWNER) MUST MEET CITY CODE REQUIREMENT. PROVIDE NARRATIVE OF HOW PUMPS FOR HOT WATER LOOP ARE CONTROLLED. ALL WATER PIPES SHALL HAVE A MIN. OF R2 INSULATION URAP.
5. ELECTRICAL TO PROVIDE BLOCKING FOR ALL EXTERIOR AND INTERIOR HUNG FIXTURES AND CEILING FANS, AS REQUIRED.	19. ALL UTILITY CONNECTIONS SHALL BE COORDINATED BY CONTRACTOR W/ CITY OF SAN ANTONIO AND HOME OWNER. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITTING AND SCHEDULED INSPECTIONS ACCORDING TO THEIR SCHEDULED COMPLETION TIME.	
6. ELECTRICIAN TO INSTALL ALL LIGHTING FIXTURES.	20. INSTALL ELECTRICAL WATER HEATER, VERIFY LOCATION W/ OWNER.	
7. CONTRACTOR(S) SHALL COORDINATE ALL WORK NEEDED TO RESOLVE ANY DISCREPANCIES OR VARIANCES WITH IN THE DRAWINGS, GENERAL NOTES, SPECIFICATION OR EQUIPMENT WITH OWNER & GENERAL CONTRACTOR. IN WHICH CASE, THE MICAZA DESIGN & DEVT., LLC & ITS AFFILIATED CONSULTANTS SHALL HAVE NO LIABLE INTEREST NOR BE HELD RESPONSIBLE FOR ANY PART OF INCLUDING FINANCING. ALL DISCREPANCIES SHALL BE PROCESSED IN WRITTEN FORM FOR AS9516 DISTANCE FROM MICAZA DESIGN & DEVT., LLC.	21. INSTALL ELECTRIC FURNACE, VERIFY LOCATION W/ OWNER. ELECTRICAL SUBCONTRACTOR TO PROVIDE 220V CIRCUIT FOR UNIT (AS PER CODE).	
8. PROVIDE INSULATED DOUBLE PANE WINDOWS W/ LOW E.	22. PROVIDE ATTIC ACCESS IN HOUSE/GARAGE CEILING. MINIMUM OPENING 24"x54". VERIFY LOCATION & ACCESS UNIT W/ OWNER.	
9. CEILING HEIGHTS TO BE 8'-0" HIGH UNLESS NOTED OTHERWISE.		
10. ALL WORK AND MATERIAL IS TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS, REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.		
11. CONTRACTOR SHALL GUARANTEE ALL CONSTRUCTION MATERIAL AND EQUIPMENT FROM ANY DEFECTS FOR A PERIOD DISCLAIMED ON CONTRACT FROM THE DATE OF FINAL COMPLETION & ACCEPTANCE OF CONSTRUCTION BY THE HOME OWNER.		
12. COORDINATE THE EXACT LOCATION FOR ALL BRUSH, TRASH AND DUMPSTERS, CONSTRUCTION MATERIAL AND ANY OTHER ITEMS ON THE JOB SITE WITH THE HOME OWNER PRIOR TO CONSTRUCTION.		
13. PROVIDE A PROPER WATERPROOFING FLASHING IN ALL EXTERIOR PENETRATIONS, INCLUDING DOORS, WINDOWS, SKYLIGHTS, ROOF VENTS AND SIDING CONSTRUCTION.		
14. CONTRACTOR TO COORDINATE ALL MATERIAL SELECTIONS & PURCHASE WITH HOMEOWNER PRIOR TO ORDERING AND INSTALLING ALL MATERIALS ON TIME. & REASONABLE ORDERING SCHEDULE. (EX. WALL & CEILING COLOR, PAINT, WINDOW TYPES, DOOR TYPES, CARPET, TILE, PLUMBING FIXTURES, ELECTRICAL FIXTURES, TRIM FINISH, BASE BOARD, ETC.).		

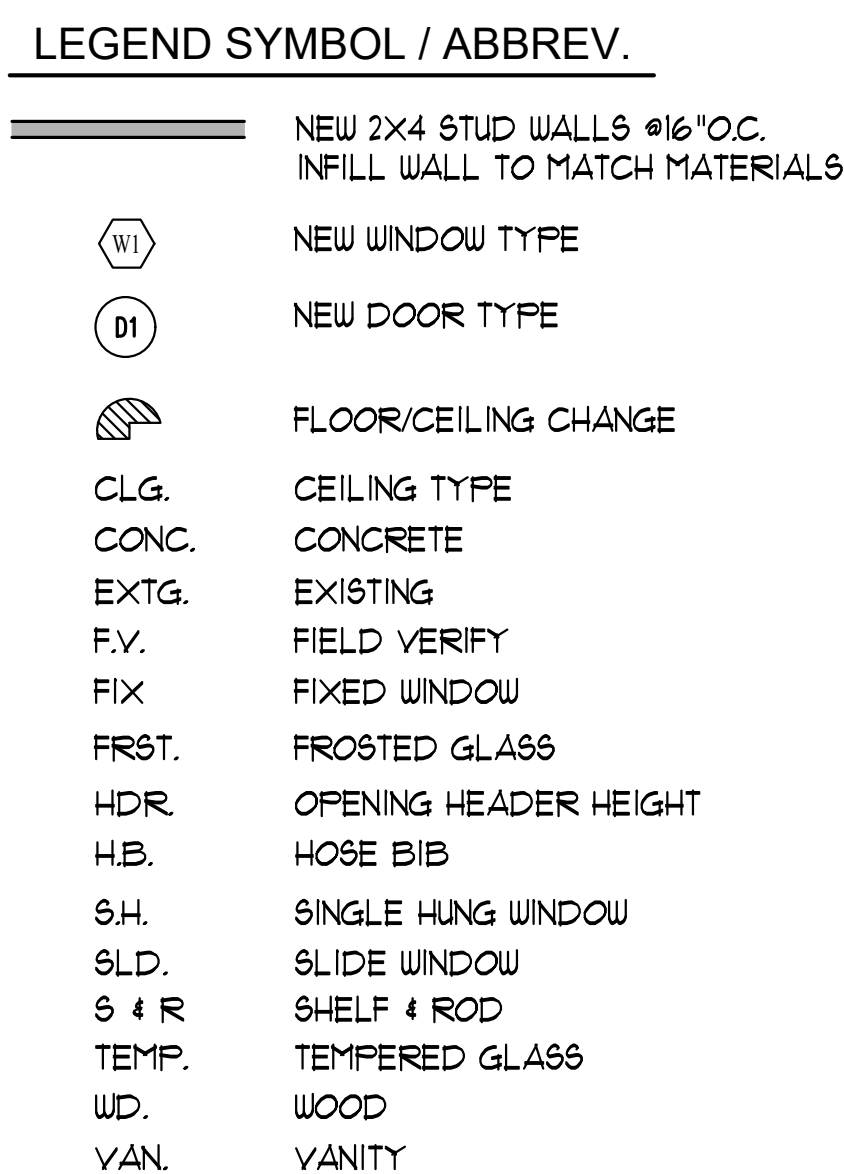
**Contractor Notes:**

Before proceeding with any work or ordering materials, the contractor shall verify all notes and measurements. Contractor shall not be held responsible for omissions from the working drawings. Working drawings not shown in field verify. Detail and drawings are builders type and not contract type. Plans hereby notifies both owner and contractor that he, she or it, shall be responsible for all liabilities to said working drawings.

The responsibility of the general contractor/owner to insure that the construction of this document meets all local structural codes.

The measurements, dimensions, and specifications specified on this document are only for construction use. The actual specifications of the finished structure may vary.

This document may not be relied on as a representation of what the completed structure will look like.



DR EXISTING DOOR TO REMAIN

D1 DOOR 2'8"X6'8"

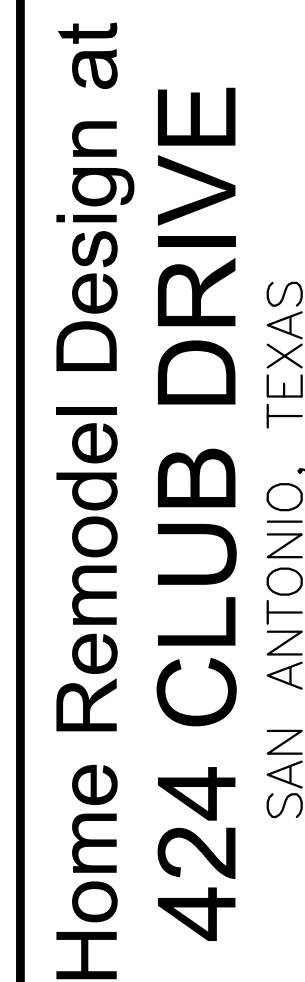
D2 DOOR 2'6"X6'8"

D3 DOOR 2'4"X6'8"

D4 DOOR 3'0"X6'8"

(WR) EXISTING WINDOW TO REMAIN  
 (W1) 3'0"x5'0" S.H.  
 (W2) 2'8"x5'0" S.H.

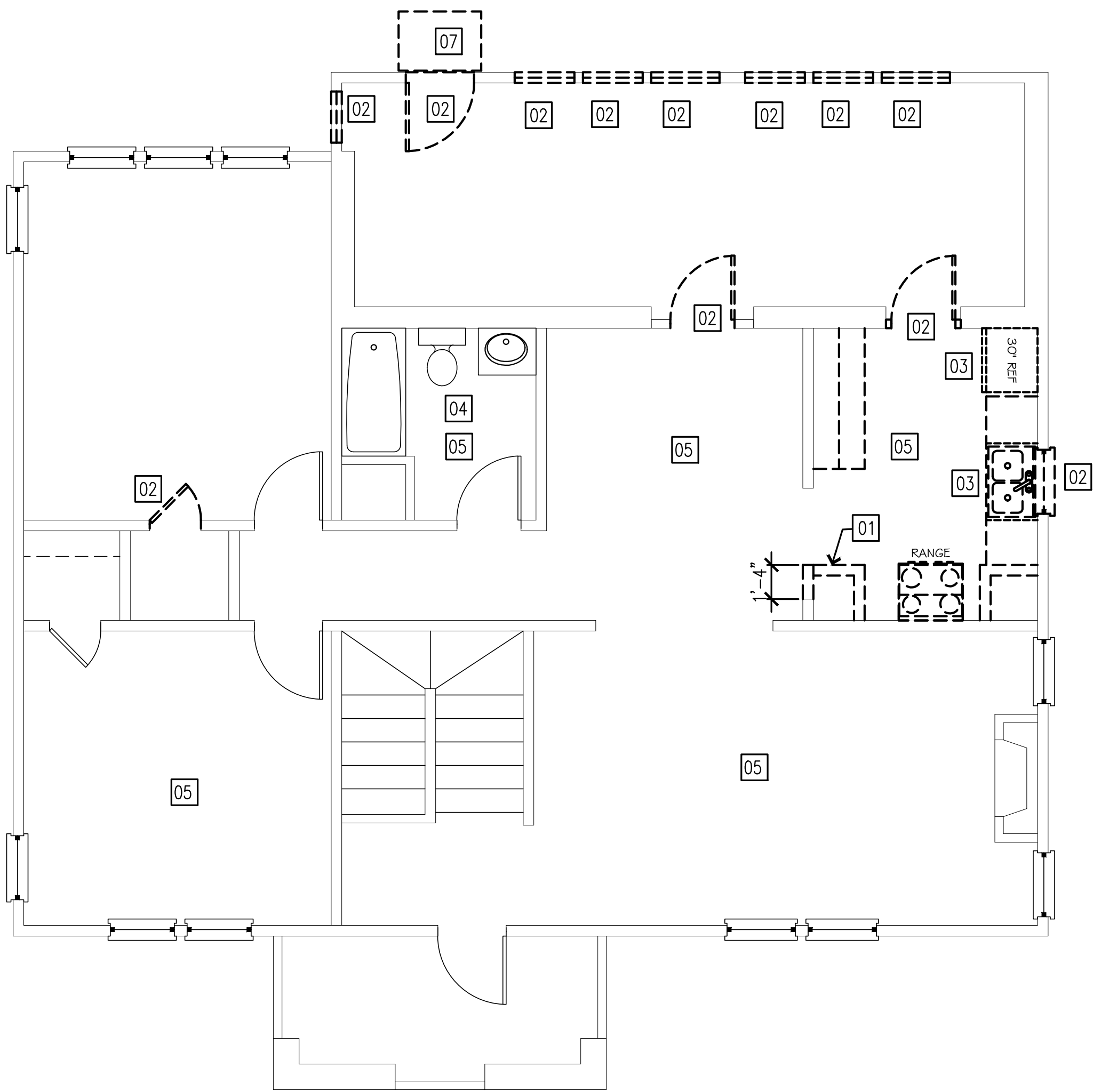
\*NOTE: WINDOW HDR @ 6'-8" AFF UNLESS OTHERWISE NOTED.



DATE:	11-19-21
PROJECT NO.	2144
REVISIONS	

TITLE  
PROPOSED  
FLOOR  
PLAN

SHEET  
1.1



SYMBOL LEGEND

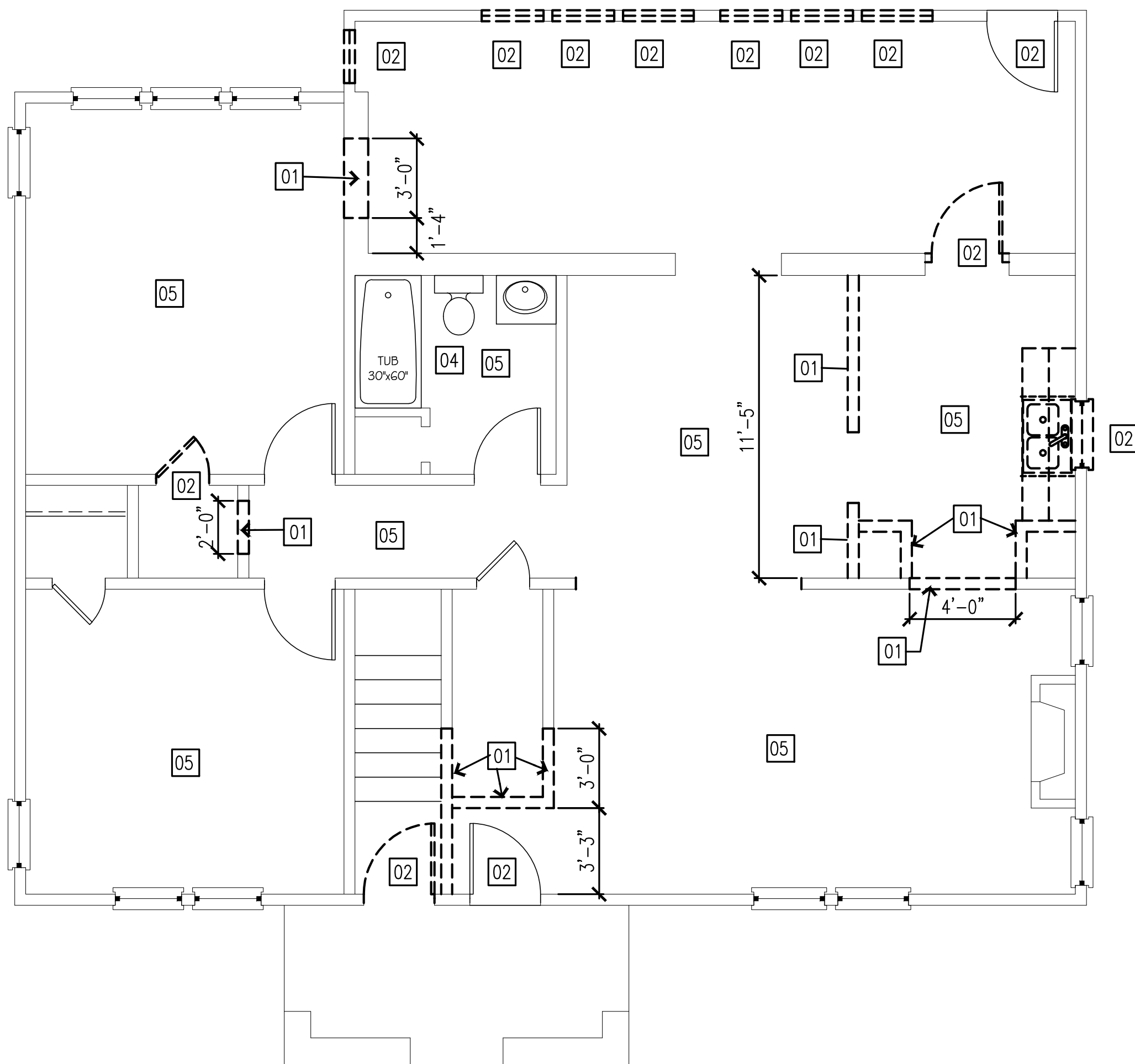
- ===== EXISTING WALLS, DOORS, ETC., TO REMAIN
- ==== EXISTING WALLS, DOORS, ETC., TO REMOVED

DEMOLITION KEYED NOTES

- [01] REMOVE EXISTING WALLS AND ALL RELATED MATERIALS. SHORE ROOF STRUCTURE AS NEEDED. VERIFY W/ STRUCTURAL ENGINEER IF WALL IS A LOAD BEARING WALL. RECOMMENDATION
- [02] REMOVE EXISTING DOOR/WINDOW AND ALL RELATED MATERIALS. PATCH & REPAIR EXISTING WALLS FOR NEW WALL FINISHES AND OR EQUIPMENT.
- [03] REMOVE EXISTING PLUMBING FIXTURES AND ALL RELATED MATERIALS. CAP ALL EXISTING LINES BENEATH FLOOR AND OR ABOVE CEILING.
- [04] REPLACE EXISTING PLUMBING FIXTURES WITH WATER SAVING TYPE. REFER TO PLUMB. PLANS
- [05] REPLACE EXISTING ELECTRICAL LIGHTS WITH NEW LED LIGHT FIXTURES. PATCH & REPAIR & PREP CEILING FOR NEW FINISH
- [06] EXISTING WINDOWS TO REMAIN. FIELD VERIFY EXISTING CONDITION. PATCH & REPAIR WINDOWS AS NEEDED
- [07] REMOVE EXISTING MTL. STAIRS & LANDING

GENERAL DEMO NOTES & SPECS (if applicable)

- LOCATE TEMPORARY FIRE EXTINGUISHERS IN ACCORDANCE WITH THE STANDARD BUILDING CODE, AND IN AREAS REQUIRED BY THE LOCAL FIRE MARSHAL, THROUGHOUT CONSTRUCTION OF THIS PROJECT. FIRE EXTINGUISHERS SHALL BE LARGE CAPACITY TYPE A-B-C.
- PERMANENT SUPPORTS SHALL BE INSTALLED FOR EXISTING MATERIALS, AND SYSTEMS TO REMAIN.
- DO NOT CUT, OR ALTER OPENINGS INTO EXISTING WALLS, FOOTINGS, OR ROOF DECK MATERIALS WITHOUT PROPER SHORING, BRACING, OR SUPPORTS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE PROJECT. CONTRACTOR SHALL PREVIEW MAJOR DEMOLITION WORK WITH A STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK.
- WHERE EXISTING COLUMN, WALL, AND CEILING FINISHES ARE TO BE REMOVED, OR REPLACED, SURFACES SHALL BE STRIPPED CLEAN OF EXISTING FINISHES, AND MADE READY TO RECEIVE NEW WORK.
- CONTRACTOR SHALL REMOVE DEMOLITION MATERIALS, AND DEBRIS FROM PROJECT SITE ON A DAILY BASIS, AND DISPOSE OF ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
- MATERIALS AND ITEMS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS TO NOT DAMAGE EXISTING ITEMS, OR MATERIALS TO REMAIN.
- MECHANICAL, PLUMBING AND ELECTRICAL LINES TO BE REMOVED SHALL BE CAPPED AS CLOSE TO THE POINT OF ENTRY IN FLOOR OR WALL, AS POSSIBLE, OR REMOVED COMPLETELY. PENETRATIONS SHALL BE PATCHED TO MATCH EXISTING CONDITIONS.
- WHERE NEW CONCRETE TOPPING IS TO BE POURED OVER EXISTING CONCRETE SLAB, BUSH HAMMER, AND CLEAN EXISTING SURFACE AS REQUIRED TO PROVIDE PROPER BONDING.
- ALL EXISTING INTERIOR PERIMETER WALLS AND CEILING ARE TO REMAIN. PATCH & REPAIR ALL WALLS/CEILING WHERE NEW WORK IS TO BE COMPLETED. PREP FOR NEW FINISHED AS SCHEDULED
- ANY DEMOLITION NOT NOTED, CLARIFIED OR UNFORESEEN CONDITIONS SHALL FOLLOW THE DEMOLITION SPECIFICATION AND THE CITY DEMOLITION CODE REQUIREMENTS. CONTRACTOR SHALL REFER TO THE NEW ASBESTOS REPORT ANALYSIS FOR ANY REQUIRED ABETMENT NEEDED PRIOR TO ANY CONSTRUCTION FOR THIS PROJECT.

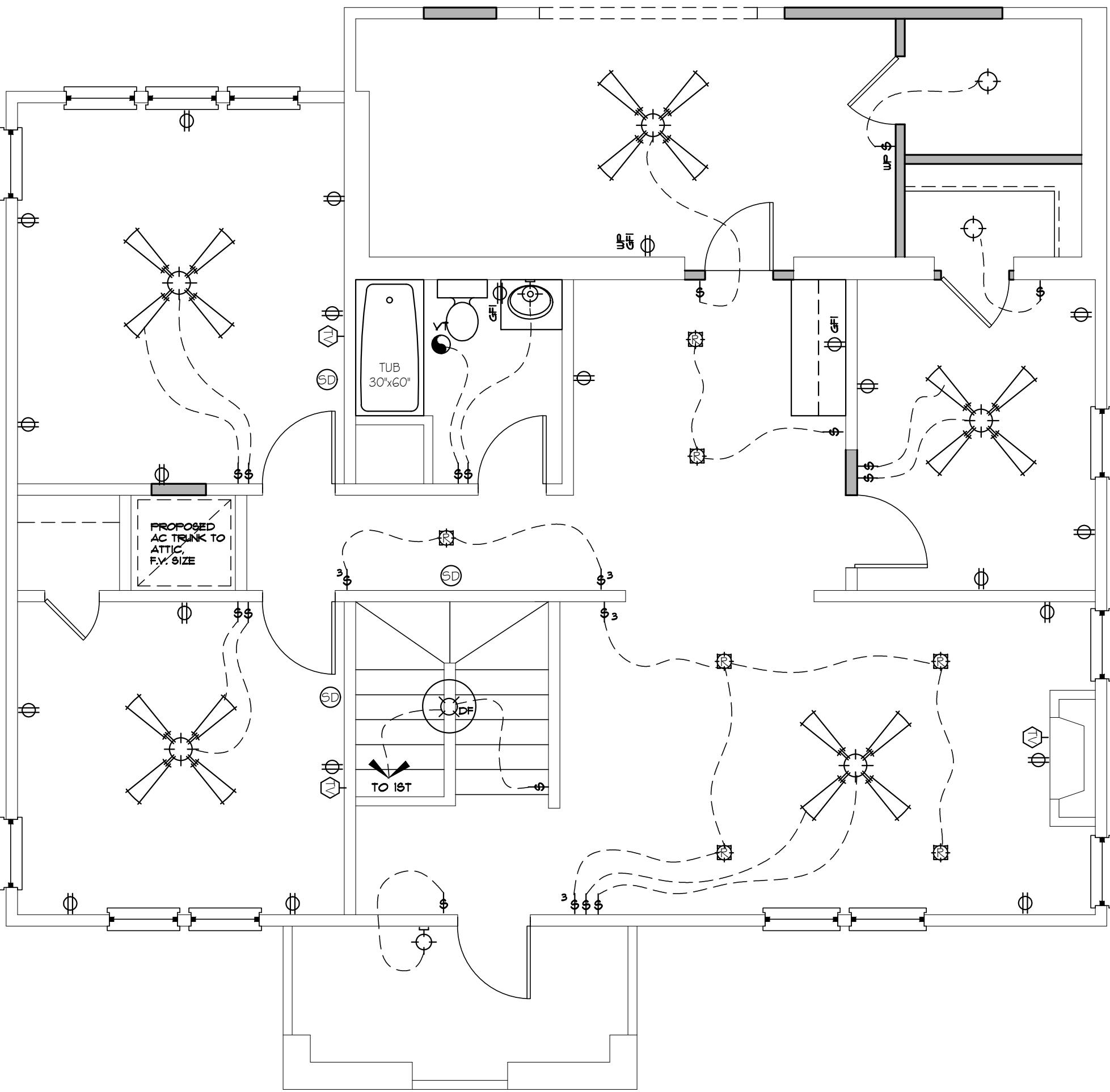


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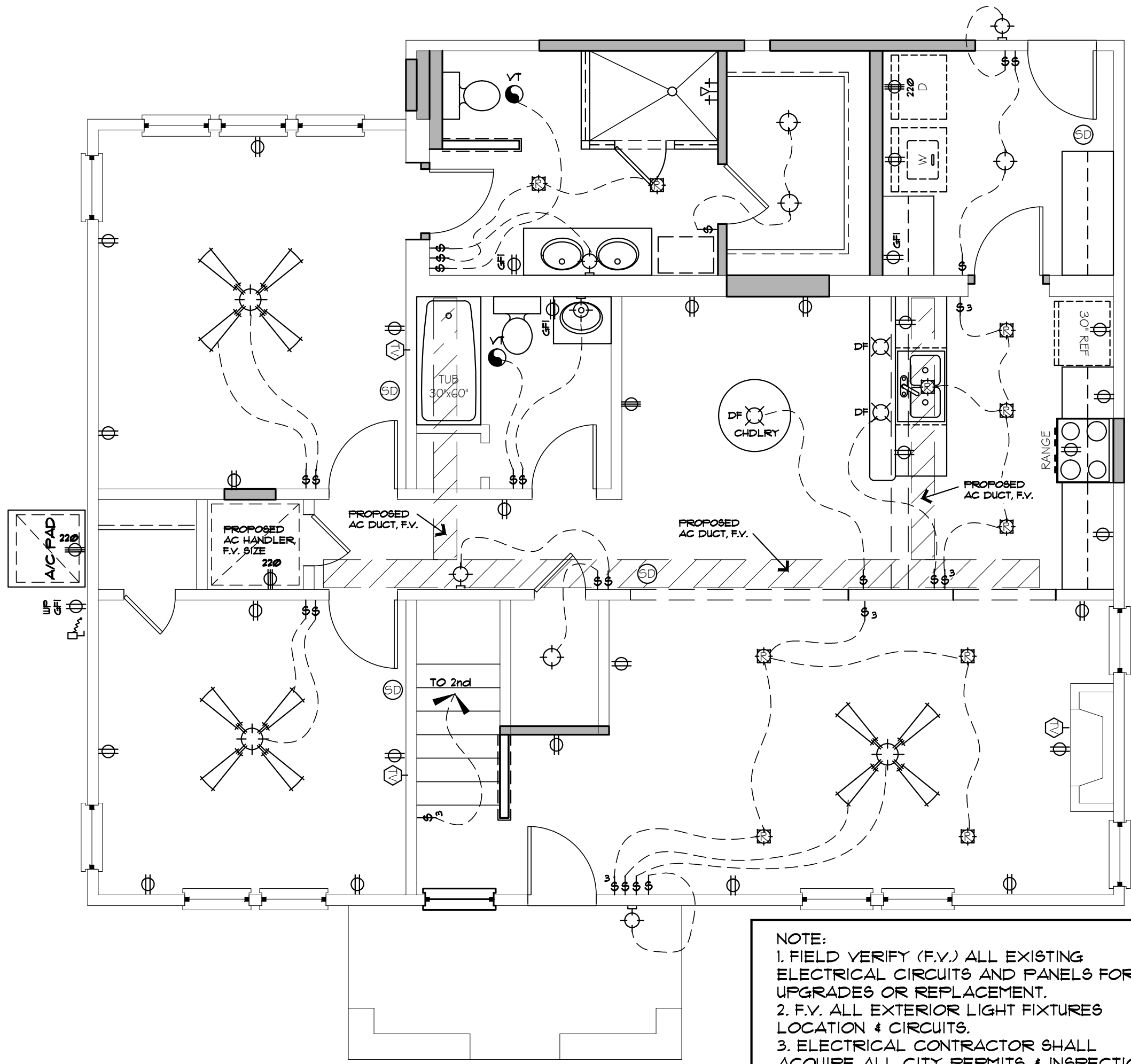
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ELECTRICAL SYMBOLS

- 110V DUPLEX RECEPTACLE
- UNDER COUNTER DUPLEX
- 220V RECEPTACLE
- UNDER COUNTER 220V
- WEATHERPROOF RECEPTACLE
- RECEPTACLE w/ GROUND-FORCE INTERRUPT
- RECEPTACLE w/ ARC FAULT CIRCUITRY
- SPLIT-WIRED DUPLEX RECEPTACLE
- 110V DUPLEX FLOOR RECEPTACLE
- QUADRAPLEX RECEPTACLE
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- PUSH BUTTON
- DIMMER SWITCH
- TELEPHONE JACK
- CABLE T.V. JACK
- GAS LOCATION
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- EXHAUST FAN
- HEATER
- EXHAUST & LIGHT
- THERMOSTAT
- GARAGE DR. OPENER
- WALL-MOUNT LIGHT
- DECORATIVE PENDANT LT. FIXTURE
- SURFACE MOUNTED INCANDESCENT
- RECESSED EYEBALL SPOTLIGHT
- RECESSED LIGHT
- RECESSED WATERPROOF LIGHT
- RECESSED PIN LIGHT
- ART LIGHT (AS SELECTED)
- 4" DIA. RECESSED LIGHT
- GARBAGE DISPOSAL
- MOTOR
- ELECTRICAL WIRE
- UNDERCABINET LIGHT
- DOORBELL CHIMES
- EMERGENCY DISCONNECT
- SECURITY PANEL
- ELECTRICAL PANEL
- ELECTRICAL METER
- SINGLE FLORESCENT LIGHT
- JUNCTION BOX
- FLOOD LAMP
- DOWN LIGHT
- FLOURESCENT LIGHT
- CEILING FAN w/ WD. BLOCKG.
- CEILING FAN w/ LIGHT KIT w/ WD. BLOCKG.
- THERMAL BUILDING ENVELOPE



NOTE:  
1. FIELD VERIFY (F.V.) ALL EXISTING ELECTRICAL CIRCUITS AND PANELS FOR UPGRADES OR REPLACEMENT.  
2. F.V. ALL EXTERIOR LIGHT FIXTURES LOCATION & CIRCUITS.  
3. ELECTRICAL CONTRACTOR SHALL ACQUIRE ALL CITY PERMITS & INSPECTIONS FOR ALL NEW WORK TO BE COMPLETED.  
4. A/C CONTRACTOR TO F.V. NEW AC UNIT AND TRUNK/DUCT ROUTE LOCATION. ALL FUR-DOWNS SHALL BE INSTALLED AGAINST WALL/CEILING AND IN ATTIC AS NEEDED. VERIFY W/ OWNER PRIOR TO INSTALLATION.